SEWER CONNECTION

4

4

Lot 142 DP1754000

6662

K Thackeray St

UPPER HUTT BOROUGH COUNCIL

APPLICATION FOR PERMIT

TO HAVE DRAINAGE OR PLUMBING WORK CARRIED OUT

Receipt No. X541

Date issued 10-5-54

No. of Permit 489

I, the undersigned (Name in full)...Arthur Gordon Lefebvre... hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the premises situated on Lot 342 D.P. 54 Section .....Street.....of which I am (owner, occupier or agent).....

Description of Work.....

.....

Estimated Cost of Work: £294/14/8/ Permit Fees: £ / /

I authorise...D. C. Hamer.....Licensed Drainlayer or Registered Plumber of...Lower Hutt...to carry out this work. All work will be carried out in accordance with the By-laws of the Upper Hutt Borough Council.

Signature of Applicant...A. G. Lefebvre.....

Address...847 High Street Lower Hutt...

.....

DATE...May 10 1954.....

[illegible]

PROPERTY ADDRESS: 4 Thackeray St

LEGAL DESCRIPTION: LOT 342 DP 17544

LOT DP

## BUILDING PERMITS

| ERMIT NO: | DATE OF ISSUE | OWNER: | TYPE OF BUILDING: | AREA | ENDORSEMEN |
|---|---|---|---|---|---|
| ? | 5/11/76 | J. Parker | garage | 480 sq' | |
| 6662 | 8/9/59 | H.V.E.P.B. | carport | | |
| 4086 | 23/3/55 | R. Lindsay | garage | | |
| 3515 | 12/5/54 | Hutt Timber + Hardware | | | |

ORRESPONDENCE - FILE NOS:

ALCULATIONS:

NY OTHER RELEVANT INFORMATION:

4 Thackeray st Mr & Mrs Ball

Lot 342 DP 17 5th PT Sec 92

SEWER CONNECTION

Permit No 5168 Rept No 22741 L Whiteman 1·11·62

Drain tested & plotted 2·11·62

UPPER HUTT BOROUGH COUNCIL

Reg. No.

Build. Per. No. 3515

# DRAINAGE PLAN

Drainlayer. Graham

Plumber. Spence

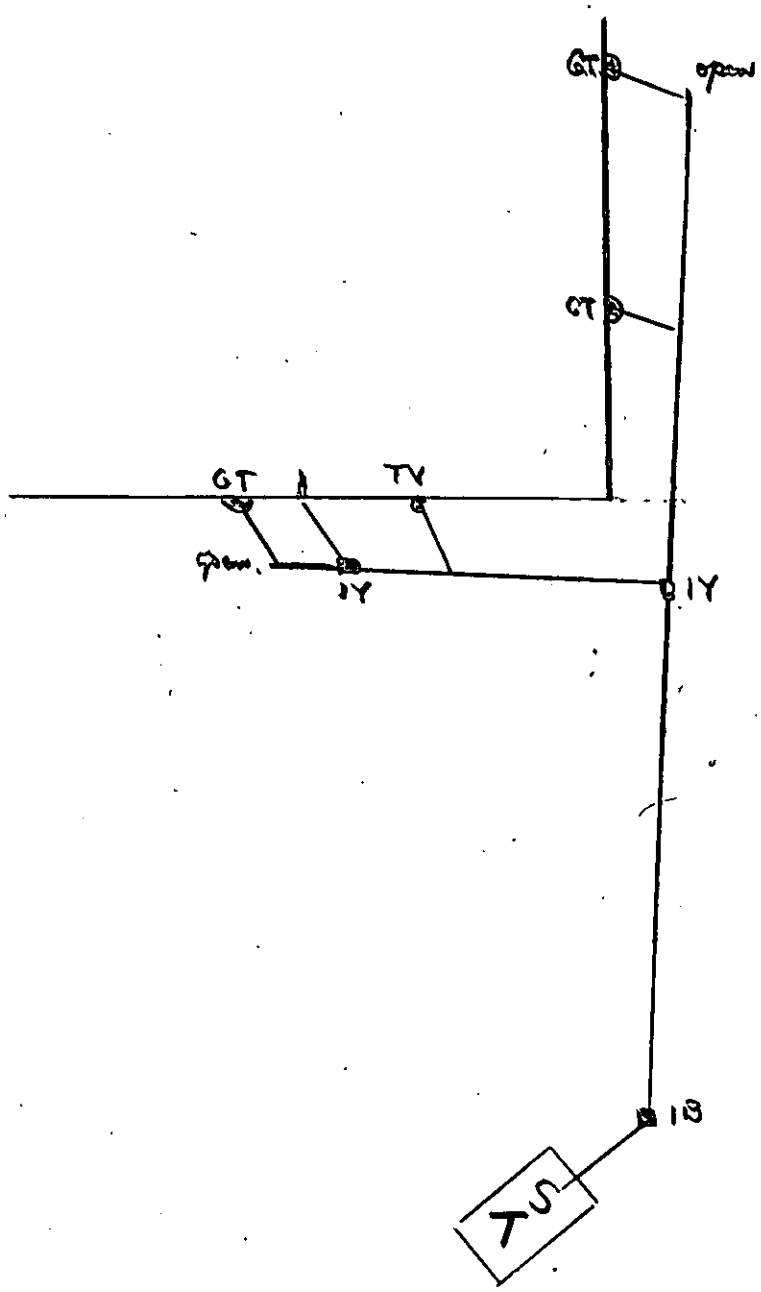
Plumb. Per. No. 409

SCALE: 1-8th to 1 ft.

Date of Inspection.

NAME H J & Co STREET Milton

Lot 342 D.P. Section



SEWER CONNECTION

# Upper Hutt Borough Council

[See Plan over.]

## APPLICATION

### FOR PERMIT TO HAVE DRAINAGE AND PLUMBING WORK CARRIED OUT.

I, the undersigned (name in full) .....
hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the premises situated:—

Lot 342 D.P. 17541 Section PT 92

Street 4 Thackeray

Owner T Ball

Description of Work: Sewer connection to existing dwelling

Estimated Cost of Work: Drainage £ 9. 10. 0 Permit Fee £ 2/6

Plumbing £ ..... Permit Fee £ .....

..... Licensed Drainlayer, of .....

..... Registered Plumber, of .....

to carry out this work, all of which will be carried out in accordance with the by-laws of the Upper Hutt Borough Council.

Signature of Applicant: L H Hitchman

Address: 32 River Bank St Upper Hutt

Date: 31 11 1962

**FOR OFFICE USE ONLY.**

Receipt No. ..... Date ..... 19.....

Plumbing Permit No. ..... Date ..... 19.....

Receipt No. 22741 Date 1 - 11 1962

Drainage Permit No. 5168 Date ..... 19.....

Building Permit No. ..... Date ..... 19.....

Drainlayer Completing Work: Name .....

Plumber Completing Work: Name .....

Date of Inspection: - - - - - - - - 2 11 1962

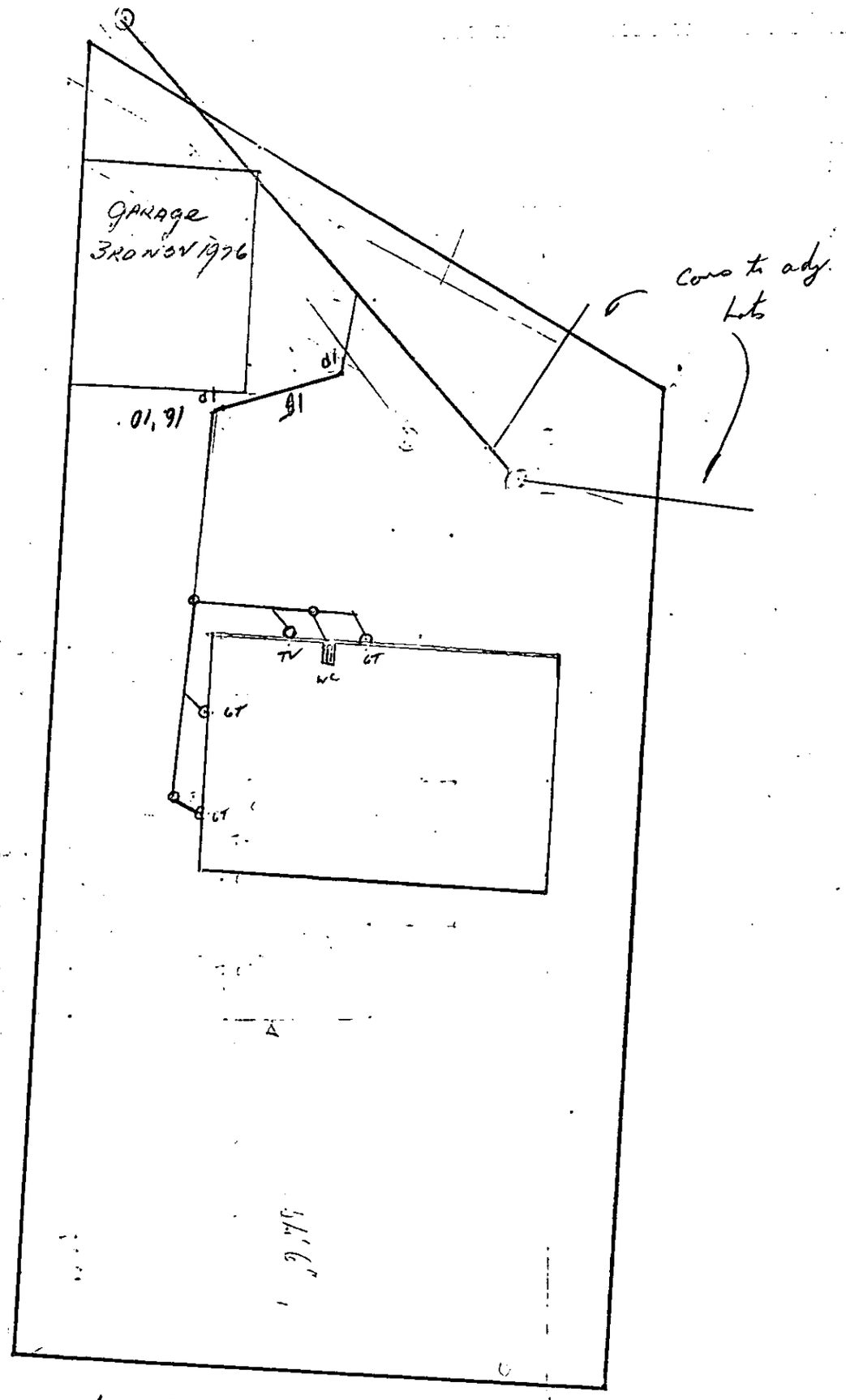
Completion Certificate No. ..... Date ..... 19.....

Sanitation Advances Account Application No. ..... Date ..... 19.....

**PERMIT FEES PAYABLE FOR SANITARY WORK:**

| ESTIMATED VALUE OF WORK | | FEE PAYABLE £ | s. | d. | |
|---|---|---|---|---|---|
| Not exceeding | £5 | 0 | 1 | 0 | |
| Exceeding | £5 but not exceeding £10 | 0 | 2 | 6 | |
| ,, | £10 ,, ,, ,, £25 | 0 | 5 | 0 | |
| ,, | £25 ,, ,, ,, £50 | 0 | 10 | 0 | |
| ,, | £50 ,, ,, ,, £100 | 1 | 0 | 0 | |
| ,, | £100 ,, ,, ,, £150 | 1 | 10 | 0 | |
| ,, | £150 ,, ,, ,, £200 | 2 | 0 | 0 | plus 10/- for every £100 or part thereof in excess of £200. |
| ,, | £200 ,, ,, ,, | | | | |

**Note.**—In assessing the value of the work, no single fitting shall be deemed to have a value exceeding £50.




4 THACKARAY ST.

4 Thackeray st
L H Litinor
Mr J Ball
2-11-62

27
25
66

1 THACKERAY STREET

LOT 342 DP 17541

Owner: PARKER JAMES CRICHTON

ERAY ST.

020122

APPROVED
BY B/I.
DATE 5th Nov 1976
UTT CITY CORPORATION

# CITY OF UPPER HUTT

UPPER HUTT CITY COUNCIL
CITY ENGINEER
APPROVED
27th Oct 76 K.G.

DRAINS SITING
CHECKED BY
RAH. 3 Nov 76

Bridge Corner of Garage over sewer & Drain

# APPLICATION for BUILDING PERMIT

STREET 4 THACKERAY ST

DATE RECEIVED 26/10/76 DATE ISSUED 5:11:76

OWNER'S NAME J. Parker.

OFFICE REMARKS:

NOTE:—

Plans of reinforced concrete work shall show clearly plans, cross sections, dimensions of all members, and the size, length, shape, position and overlap of all reinforcement.

FURTHER:—

All steel calculations and computations must be submitted with application and signed by architect, engineer, or designer for major works.

# APPLICATION FOR BUILDING PERMIT

DATE 27/10/ 1976

TO THE CITY ENGINEER,
Upper Hutt City Council.

Postal Address:—
Upper Hutt City Council,
Private Bag.

I, the undesigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in 4 THACKERAY STREET.

1. NATURE OF BUILDINGS GARAGE.
Dwellings etc.; new, additions or alterations.
2. ALLOTMENT: Lot 342 D.P. 18074. Section Res A.
3. OWNER'S NAME J. C. PARKER
ADDRESS 4 THACKERAY ST
4. ESTIMATE VALUE OF BUILDINGS $
5. FLOOR AREA OF WORK 480 ~~sq~~ (sq. ft.) Total $ 1500
6. FEES (herewith)

| | |
|---|---|
| B.R. Levy | $ — : . |
| Building | $ 10 : 00 |
| Crossing: Dep: | $ : . |
| Crossing Fee | $ : . |
| Water Connection | $ : . |
| Builder's Deposit | $ : . |
| Total Fees Payable | $ 10 : 00 |

No. of Receipt 508
Jm 26/10/76

NOTE:—The following MUST accompany this Aplication:—
(a) Ground Plans of Proposed Work:
(b) Elevations:
(c) Sections: Cross and Longitudinal:
Ground Plan must show position of all sanitary fittings.
(d) Two Copies of Specifications of BUILDING and Materials to be used:
(e) SITE PLAN to be drawn to a scale of 1:200 (1/16"=1'.0")
Two Plans required for GARAGES, SHEDS and additions:
PLANS must be submitted in TRIPLICATE for DWELLINGS and FLATS only.
(f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
(g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

SIGNATURE OF APPLICANT Borowing as BUILDER or OWNER

ADDRESS 9 McHARDY ST

BUILDER'S NAME AND ADDRESS (If not the applicant.)

All work will be carried out in accordance with Upper Hutt City By-laws.

3515

4 Thackeray St

SEWER CONNECTION

# UPPER HUTT BOROUGH COUNCIL

PERMIT NO. 3515

LOCALITY Thackeray

DATE RECEIVED 18 : 5 : 54 DATE ISSUED 12 : 6 : 54

# Application For Building Permit

OWNER'S NAME S.R.C. Lot 342

FOR OFFICE USE ONLY.

REMARKS:

UPPER HUTT BOROUGH COUNCIL
DATE 12/6/54
APPROVED

**NOTE:** Plans of reinforced concrete work shall show clearly plans, cross sections, dimensions of all members, and the size, length, shape position and overlap of all reinforcement.

**FURTHER:** All steel quantities, calculations, computations must be submitted with application and signed by architect, engineer, or designer.

**NOTE:—**

1. Where the foundations of any building are above ~~or below~~ road level, the position of the intended structure must be approved by the Borough Inspector before buildings operations commence.
2. Buildings must **not** be erected within feet of adjoining properties.

Date..... ....., 19

# Application For Building Permit

TO THE BOROUGH ENGINEER,
Upper Hutt Borough Council.

Postal Address:—
Upper Hutt Borough Council,
P.O. Box 5.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in ..... STREET.

1. **Nature of Buildings** .....
Dwellings etc.; new, additions or alterations.

**Materials** .....
(State if new or second hand and where from)

2 **Allotment:** Lot: ....342.... .....D.P.: ..... Section ..342...

3. **Owner's Name** .....

**Address** .....

4. **Previous Owner** (If Section has been recently transferred) .....

5. **Frontage** (Length) Name of Street or Road .....

6. **Estimated Value of Building** £ ~~2420~~: : . 2420
" " " **Plumbing and Drainage Fittings** £ ~~294~~: : . 294
**Total** ~~£2714~~: : . 2714

7. **Fees** (herewith) : : . **No. of Receipt:**.....
See Scale of Fees on Back Page

| | | | | |
|---|---|---|---|---|
| **Building** ... ... ... ... ... | £10 | : 10 | : 0 | . |
| **Plumbing and Drainage** | £ 3 | : — | : | . |
| **Crossing** ... ... ... ... ... | £ | : | : | . |
| **Water Connection** ... ... | £ | : | : | . |

X541
£3-10-0

NOTE:—The following MUST accompany this Application:—

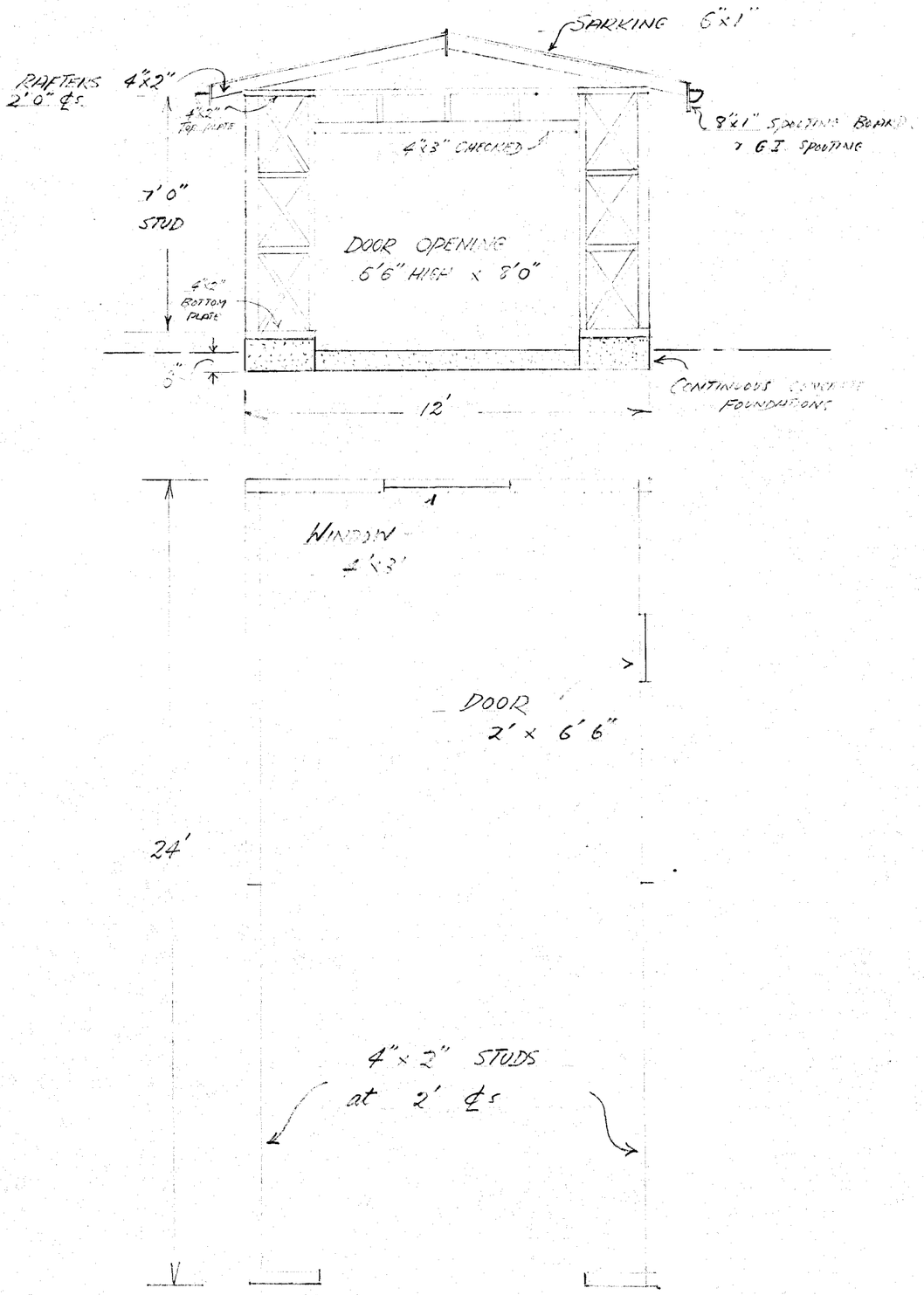
(a) **Ground Plans** of Proposed Work:
(b) **Front Elevation:**
(c) **Sections:** Cross and Longitudinal.
Ground Plan must show position of all sanitary fittings.
(d) **One Copy of Specifications** of BUILDING, and MATERIALS to be used:
PLANS must be submitted in TRIPLICATE.
(e) One Plan Only required for GARAGES and SHEDS.
(f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in per directions on same and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
(g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

**Signature of Applicant** A. G. Pepper ..... as BUILDER or OWNER

Address .....347 High Street Lower Hutt.....

**Builder's Name and Address** (If not the applicant) .....A. G. Pepper.....

All work will be carried out in accordance with Upper Hutt Borough By-laws.




# PROPOSED GARAGE FOR R.H. LINDSAY
## 4 THACKERAY ST. (SECTION 342).

## SPECIFICATION

| | | |
|---|---|---|
| **ROOF** | RAFTERS | 4"x 2" at 2' ℄s |
| | SARKING | 6"x 1" |
| | COVERING | CORRUGATED FIBROLITE. |
| **WALLS** | STUDS | 4"x 2" at 2' ℄s |
| | PLATES | 4"x 2" |
| | COVERING | SIDES & END - CORRUGATED FIBROLITE |
| | | FRONT - FLAT FIBROLITE |
| **DOORS** | 4" T. & G. FLOORING | |
| **FOUNDATIONS** | CONTINUOUS CONCRETE. | |
| **SPOUTING & DOWNPIPES** | 26 G. G.I. | |

## SCALE OF FEES

For the Examination of Plans and Specifications of any Building and for the Inspection of such Buildings the following Fees shall be payable.

| Estimated Value of Work | | | | Fees |
|---|---|---|---|---|
| Not exceeding | £10 | | | 5 0 |
| Over | £10 | and not exceeding | £100 | 10 0 |
| ,, | £100 | ,, | 200 | 1 0 0 |
| ,, | 200 | ,, | 300 | 1 10 0 |
| ,, | 300 | ,, | 400 | 2 0 0 |
| ,, | 400 | ,, | 500 | 2 10 0 |
| ,, | 500 | ,, | 600 | 3 0 0 |
| ,, | 600 | ,, | 700 | 3 10 0 |
| ,, | 700 | ,, | 800 | 4 0 0 |
| ,, | 800 | ,, | 900 | 4 10 0 |
| ,, | 900 | ,, | 1000 | 5 0 0 |
| ,, | 1000 | ,, | 1250 | 6 0 0 |
| ,, | 1250 | ,, | 1500 | 7 0 0 |
| ,, | 1500 | ,, | 1750 | 8 0 0 |
| ,, | 1750 | ,, | 2000 | 9 0 0 |
| ,, | 2000 | ,, | 2500 | 10 10 0 |
| ,, | 2500 | ,, | 3000 | 12 0 0 |
| ,, | 3000 | ,, | 3500 | 13 10 0 |
| ,, | 3500 | ,, | 4000 | 15 0 0 |
| ,, | 4000 | ,, | 4500 | 16 10 0 |
| ,, | 4500 | ,, | 5000 | 18 0 0 |
| ,, | 5000 | ,, | 6000 | 20 0 0 |
| ,, | 6000 | ,, | 7000 | 22 0 0 |
| ,, | 7000 | ,, | 8000 | 24 0 0 |
| ,, | 8000 | ,, | 9000 | 26 0 0 |
| ,, | 9000 | ,, | 10000 | 28 0 0 |
| ,, | 10000 | ,, | 12500 | 32 0 0 |
| ,, | 12500 | ,, | 15000 | 36 0 0 |
| ,, | 15000 | ,, | 17500 | 40 0 0 |
| ,, | 17500 | ,, | 20000 | 44 0 0 |
| ,, | 20000 | ,, | 25000 | 49 0 0 |
| ,, | 30000 | ,, | 35000 | 59 0 0 |
| ,, | 35000 | ,, | 40000 | 64 0 0 |
| ,, | 40000 | ,, | 45000 | 69 0 0 |
| ,, | 45000 | ,, | 50000 | 74 0 0 |
| ,, | 50000 | ,, | 60000 | 79 0 0 |
| ,, | 60000 | ,, | 70000 | 84 0 0 |
| ,, | 70000 | ,, | 80000 | 89 0 0 |
| ,, | 80000 | ,, | 90000 | 94 0 0 |
| ,, | 90000 | ,, | 100000 | 99 0 0 |
| Exceeding £100,000 | | | | 100 0 0 |

100,000 and not exceeding 150,000
For each 1000 or part thereof in excess of 100,000 —15/-
For each 150,000 and not in excess of 200,000
For each additional 1000 or part thereof in excess of 150,000—10/-
For each additional 1000 or part thereof in excess of 200,000—5/-.
In any dispute the Engineer shall have the absolute determination of value of such work.

4086

Section 3515

4 Thackeray st

# UPPER HUTT BOROUGH COUNCIL

PERMIT NO.

LOCALITY Thackeray St.

DATE RECEIVED 10 : 3 : 55.

DATE ISSUED 23 : 3 : 55.

# Application For Building Permit

OWNER'S NAME R.H. LINDSAY

**NOTE:** Plans of reinforced concrete work shall show clearly plans, cross sections, dimensions of all members, and the size, length, shape position and overlap of all reinforcement.

**FURTHER:** All steel quantities, calculations, computations must be submitted with application and signed by architect, engineer, or designer.

**FOR OFFICE USE ONLY.**

REMARKS:

Siting for sewer line checked 9/3/55. Information received from ch. surv. 11/3/55

UPPER HUTT BOROUGH COUNCIL
DATE 11/3/55
APPROVED

**NOTE:—**

1. Where the foundations of any building are above or below road level, the position of the intended structure must be approved by the Borough Inspector before buildings operations commence.
2. Buildings must **not** be erected within feet of adjoining properties.

Date 9/3/, 1955.

# Application For Building Permit

TO THE BOROUGH ENGINEER,
Upper Hutt Borough Council.

Postal Address:—
Upper Hutt Borough Council,
P.O. Box 5.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in THACKERAY STREET.

1. **Nature of Buildings** GARAGE.
Dwellings etc.; new, additions or alterations.

**Materials** NEW RIMU - PINUS INSIGNUS
(State if new or second hand and where from)

2. **Allotment:** Lot: 342 D.P.: Section —

3. **Owner's Name** R.H. LINDSAY

**Address** 4 THACKERAY ST.

4. **Previous Owner** (If Section has been recently transferred) —

5. **Frontage** (Length) Name of Street or Road THACKERAY.

6. **Estimated Value of Building** £~~100~~ 120 : : .
" " " **Plumbing and Drainage Fittings** £ : : .
**Total** £ 100 : : .

7. **Fees** (herewith) ~~£1~~ . **No. of Receipt:** 3419
See Scale of Fees on Back Page

23.3.55

| | | | | |
|---|---|---|---|---|
| **Building** ... ... ... ... ... | £ 1 | : 0 | : 0. |
| **Plumbing and Drainage** | £ | : | : . |
| **Crossing** ... ... ... ... ... | £ | : | : . |
| **Water Connection** ... ... | £ | : | : . |

NOTE:—The following MUST accompany this Application:—

(a) **Ground Plans** of Proposed Work:
(b) **Front Elevation:**
(c) **Sections:** Cross and Longitudinal.
Ground Plan must show position of all sanitary fittings.
(d) **One Copy of Specifications** of BUILDING, and MATERIALS to be used:
PLANS must be submitted in TRIPLICATE.
(e) One Plan Only required for GARAGES and SHEDS.
(f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in per directions on same and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
(g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

**Signature of Applicant** R.H. Lindsay as BUILDER or OWNER

Address 4 Thackeray St.

**Builder's Name and Address** (If not the applicant)

All work will be carried out in accordance with Upper Hutt Borough By-laws.

# PLAN OF ALLOTMENT

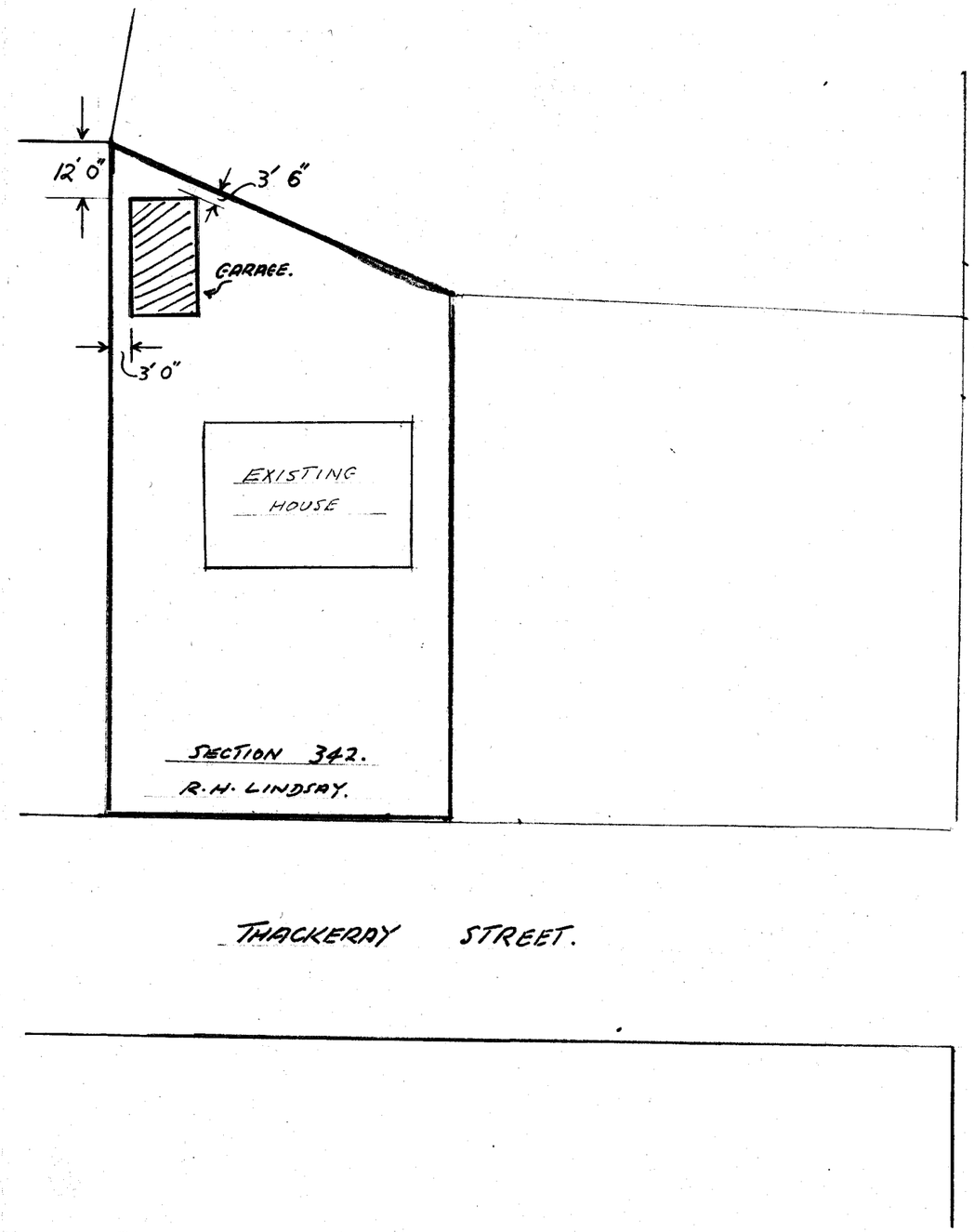
**Showing position of proposed buildings on such allotment.**

**NOTE—Distances of each building from boundary lines must be clearly indicated.**

**Boundary Lines to be shown thus:**——— - ——— - ——— -

**BUILDINGS must NOT be ERECTED within FEET of ADJOINING properties**

**Frontage to** ..... **Road**



## SCALE OF FEES

For the Examination of Plans and Specifications of any Building and for the Inspection of such Buildings the following Fees shall be payable.

| Estimated Value of Work | | | | Fees |
|---|---|---|---|---|
| Not exceeding | £10 | | | 5 0 |
| Over | £10 | and not exceeding | £100 | 10 0 |
| ,, | £100 | ,, | 200 | 1 0 0 |
| ,, | 200 | ,, | 300 | 1 10 0 |
| ,, | 300 | ,, | 400 | 2 0 0 |
| ,, | 400 | ,, | 500 | 2 10 0 |
| ,, | 500 | ,, | 600 | 3 0 0 |
| ,, | 600 | ,, | 700 | 3 10 0 |
| ,, | 700 | ,, | 800 | 4 0 0 |
| ,, | 800 | ,, | 900 | 4 10 0 |
| ,, | 900 | ,, | 1000 | 5 0 0 |
| ,, | 1000 | ,, | 1250 | 6 0 0 |
| ,, | 1250 | ,, | 1500 | 7 0 0 |
| ,, | 1500 | ,, | 1750 | 8 0 0 |
| ,, | 1750 | ,, | 2000 | 9 0 0 |
| ,, | 2000 | ,, | 2500 | 10 10 0 |
| ,, | 2500 | ,, | 3000 | 12 0 0 |
| ,, | 3000 | ,, | 3500 | 13 10 0 |
| ,, | 3500 | ,, | 4000 | 15 0 0 |
| ,, | 4000 | ,, | 4500 | 16 10 0 |
| ,, | 4500 | ,, | 5000 | 18 0 0 |
| ,, | 5000 | ,, | 6000 | 20 0 0 |
| ,, | 6000 | ,, | 7000 | 22 0 0 |
| ,, | 7000 | ,, | 8000 | 24 0 0 |
| ,, | 8000 | ,, | 9000 | 26 0 0 |
| ,, | 9000 | ,, | 10000 | 28 0 0 |
| ,, | 10000 | ,, | 12500 | 32 0 0 |
| ,, | 12500 | ,, | 15000 | 36 0 0 |
| ,, | 15000 | ,, | 17500 | 40 0 0 |
| ,, | 17500 | ,, | 20000 | 44 0 0 |
| ,, | 20000 | ,, | 25000 | 49 0 0 |
| ,, | 25000 | ,, | 30000 | 54 0 0 |
| ,, | 30000 | ,, | 35000 | 59 0 0 |
| ,, | 35000 | ,, | 40000 | 64 0 0 |
| ,, | 40000 | ,, | 45000 | 69 0 0 |
| ,, | 45000 | ,, | 50000 | 74 0 0 |
| ,, | 50000 | ,, | 60000 | 79 0 0 |
| ,, | 60000 | ,, | 70000 | 84 0 0 |
| ,, | 70000 | ,, | 80000 | 89 0 0 |
| ,, | 80000 | ,, | 90000 | 94 0 0 |
| ,, | 90000 | ,, | 100000 | 99 0 0 |
| Exceeding £100,000 | | | | 100 0 0 |

100,000 and not exceeding 150,000
For each 1000 or part thereof in excess of 100,000 —15/-
For each 150,000 and not in excess of 200,000
For each additional 1000 or part thereof in excess of 150,000—10/-
For each additional 1000 or part thereof in excess of 200,000—5/-.
In any dispute the Engineer shall have the absolute determination of value of such work.

4 Thackeray st

# 6662

## UPPER HUTT BOROUGH COUNCIL

Peake 3515
4086

PERMIT NO.

LOCALITY Thackeray St 4

DATE RECEIVED 8 : 9 : 59.  DATE ISSUED : :

# Application For Building Permit

OWNER'S NAME H. V. E. P. BOARD

**FOR OFFICE USE ONLY.**

BUILDING SITING CHECKED BY

OCCUPANCY AND COMPLETION CERTIFICATE NO

REMARKS:

UPPER HUTT BOROUGH COUNCIL
DATE: 9-9-59
APPROVED

NOTE: Plans of reinforced concrete work shall show clearly plans, cross sections, dimensions of all members, and the size, length, shape, position and overlap of all reinforcement.

FURTHER: All steel quantities, calculations, computations must be submitted with application and signed by architect, engineer, or designer.

**NOTE:—**

1. Where the foundations of any building are above or below road level, the position of the intended structure must be approved by the Borough Inspector before buildings operations commence.
2. Buildings must **not** be erected within feet of adjoining properties.

Date ..... ....., 19

# Application For Building Permit

TO THE BOROUGH ENGINEER,
Upper Hutt Borough Council.

Postal Address:—
Upper Hutt Borough Council,
P.O. Box 5.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in THACKERAY (4) STREET.

1. **Nature of Buildings** CAR PORT
Dwellings etc.; new, additions or alterations.

**Materials** New
(State if new or second hand and where from)

2. **Allotment:** Lot: 342 D.P.: ..... Section .....

3. **Owner's Name** HUTT VALLEY ELECTRIC POWER AND GAS BOARD

**Address** Box 324 Lower Hutt.

4. **Previous Owner** (If Section has been recently transferred) —

5. **Frontage** (Length) Name of Street or Road .....

6. **Estimated Value of Building** £ 100 : – : – .

" " " **Plumbing and Drainage Fittings** £ : : .

**Total** £ 100 : – : – .

7. **Fees** (herewith) : : .
See Scale of Fees on Back Page

| | | | | |
|---|---|---|---|---|
| **Building** | £ | : 10 | : – | . |
| **Plumbing and Drainage** | £ | : | : | . |
| **Crossing** | £ | : | : | . |
| **Water Connection** | £ | : | : | . |

No. of Receipt: 11776
20.–.11.59.

NOTE:—The following MUST accompany this Application:—

(a) **Ground Plans** of Proposed Work:
(b) **Front Elevation:**
(c) **Sections:** Cross and Longitudinal.
Ground Plan must show position of all sanitary fittings.
(d) **One Copy of Specifications** of BUILDING, and MATERIALS to be used:
PLANS must be submitted in TRIPLICATE.
(e) One Plan Only required for GARAGES and SHEDS.
(f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in per directions on same and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
(g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

for HUTT VALLEY ELECTRIC POWER AND GAS BOARD

**Signature of Applicant** ..... as ~~BUILDER or~~ OWNER

Address Box 324 Lower Hutt.

**Builder's Name and Address** (If not the applicant) Clench Bros Ltd – 354 Jackson St. Petone.

All work will be carried out in accordance with Upper Hutt Borough By-laws.

# PLAN OF ALLOTMENT

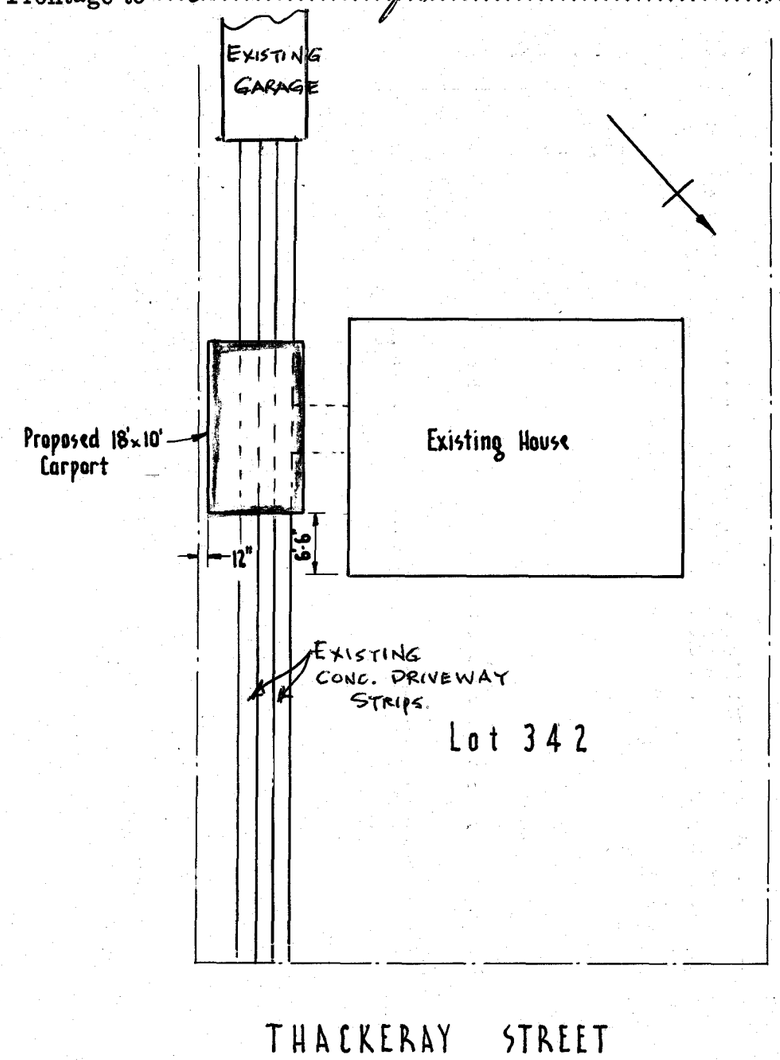
Showing position of proposed buildings on such allotment.

**NOTE—Distances of each building from boundary lines must be clearly indicated.**

**Boundary Lines to be shown thus:**——— - ——— - ——— -

**BUILDINGS must NOT be ERECTED within FEET of ADJOINING properties**

**Frontage to** 4 Thackeray Street ..... **Road**




SCALE: 16 FEET TO ONE INCH.

# U.H.B.C. INSPECTION CARD

Permit No. 25752489 Date of Issue 12.5.54

Work Dwelling Rec. No. X5741

Owner H. Y. & L. Co.

Builder A. G. Pepper

Street H. Thackeray

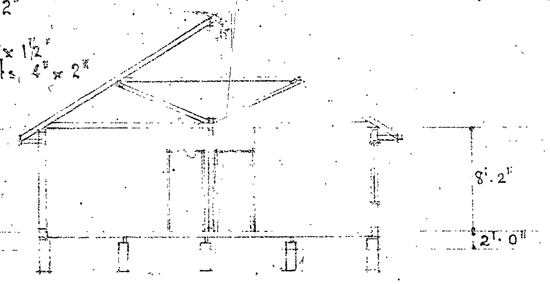
Lot 244 D.P. ..... Sec. .....

| Inspection Dates | Remarks |
|---|---|
| 12 5 54 | Dwelling closed in |
| 15 6 54 | Drain in & under finishing |
| 23 8 54 | in progress |
| 27 10 54 | " |
| 19 11 54 | " |
| 14.4.55 | Completed |
| | Cee, 20 783 |

*Date of Final Inspection* .....

*Inspector* .....

Ridge 8" x 1"
Rafters 4" x 2"
Struts 4" x 2"
Collar ties 4" x 1½"
Ceiling joists 4" x 2"




B = Basin
B^h = Bath
C° = Closet
C = Closet
H.W.C = Hot Water Cylinder

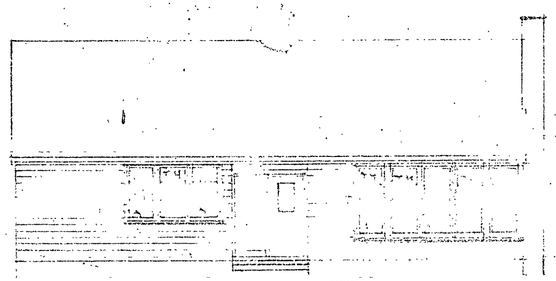
T = Tubs
W.M = Washing Machine

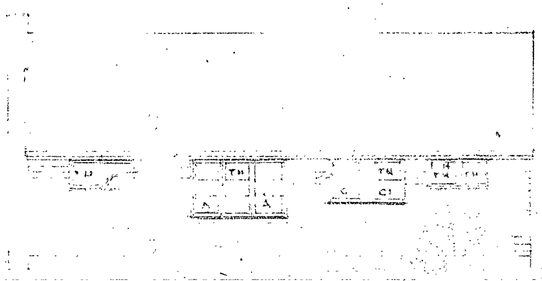
Door Details

Door Sizes: A
C - 6'.8" x 2'.6"

Tubs
Washing Machine
Door Details

HOUSE No 337
[illegible] STA
UNDER
FOR TH
MESSRS HUTT HARDWA
Drawing 3/150 1953 Scale

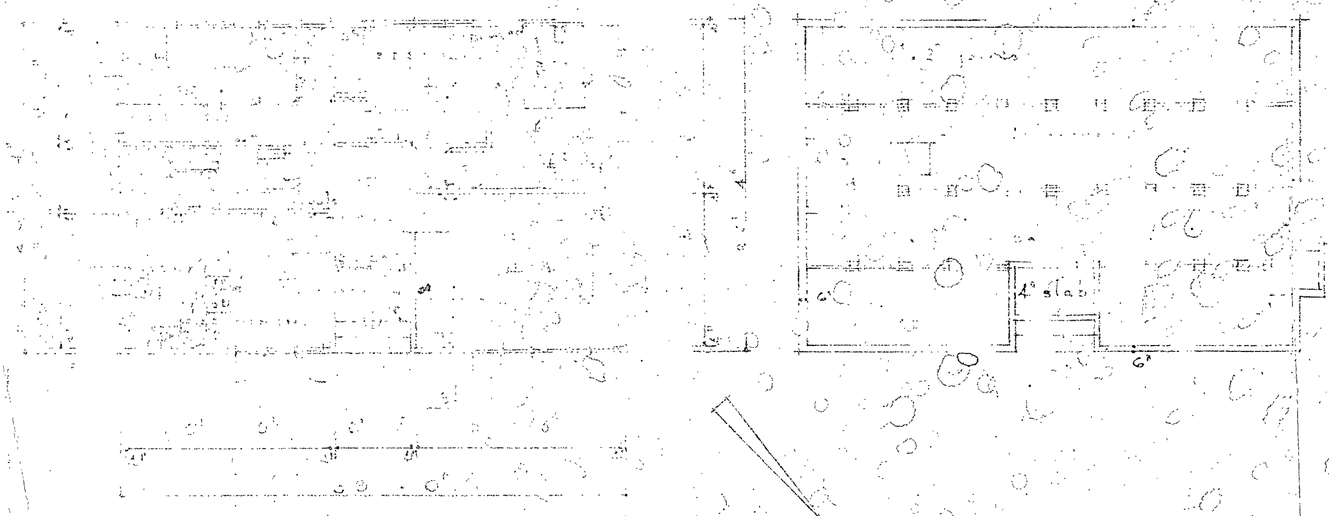




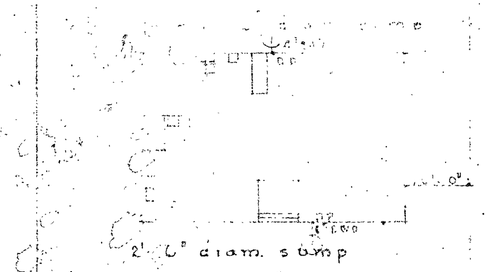
NORTH EAST

WEST

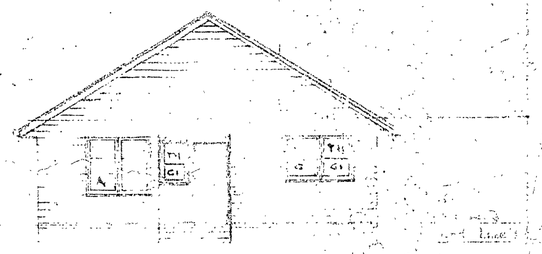
SOUTH WEST




Drainage according to Upper Hutt Borough Council




Section No 342
Site plan



SOUTH EAST

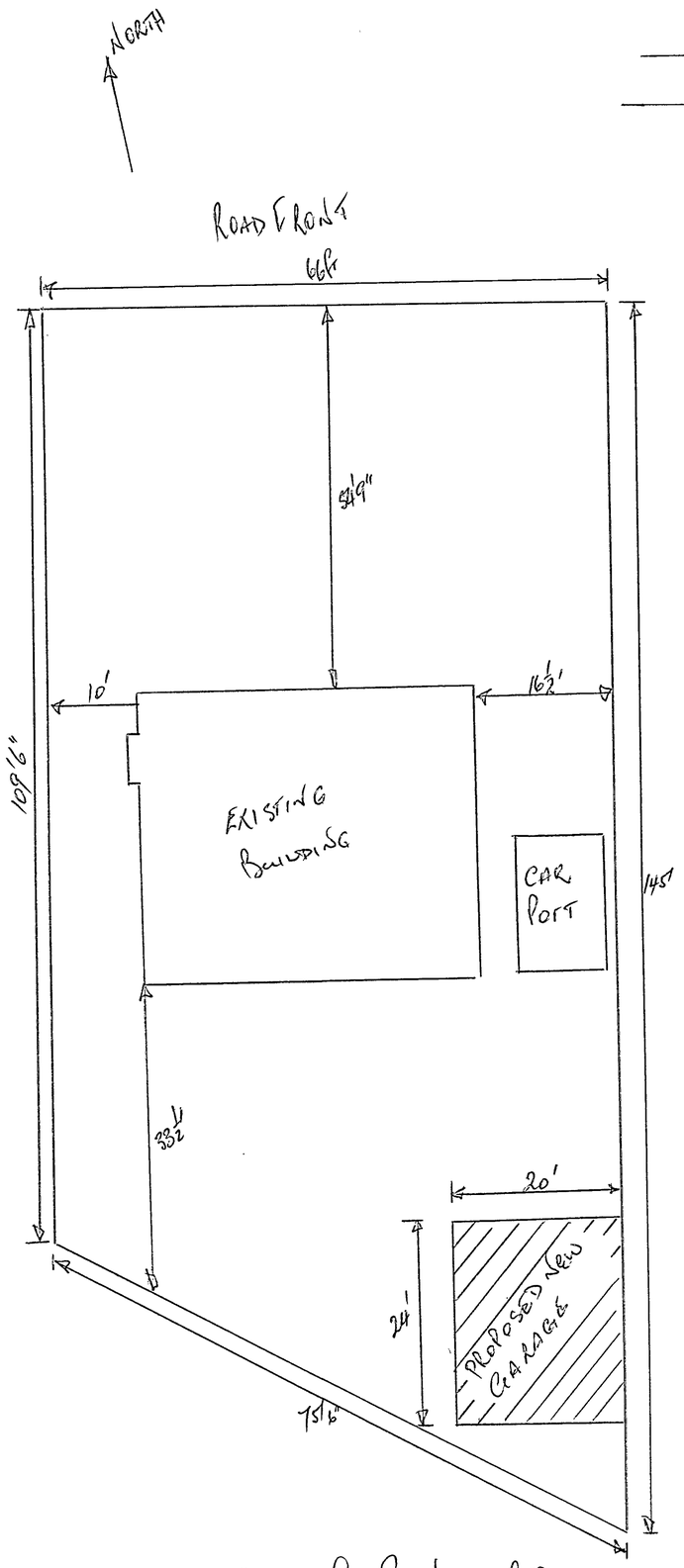
S.A.C. No 342/237

Area 1027 sq ft

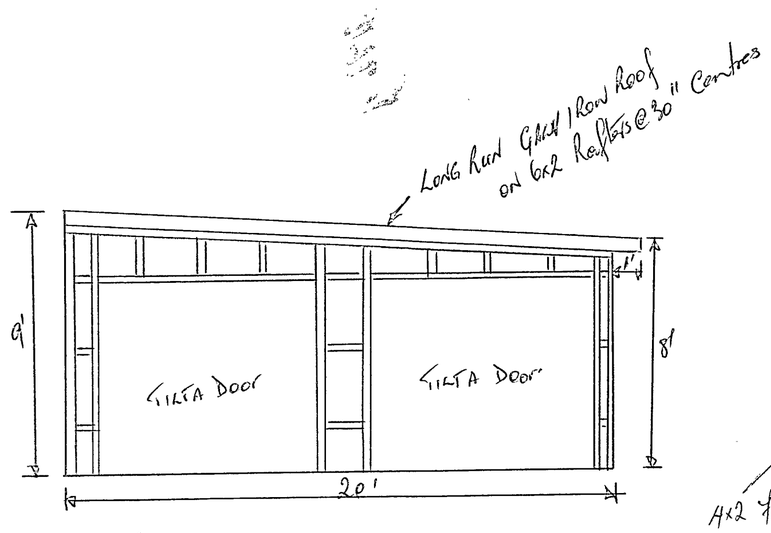
FOUND

Thackeray Street

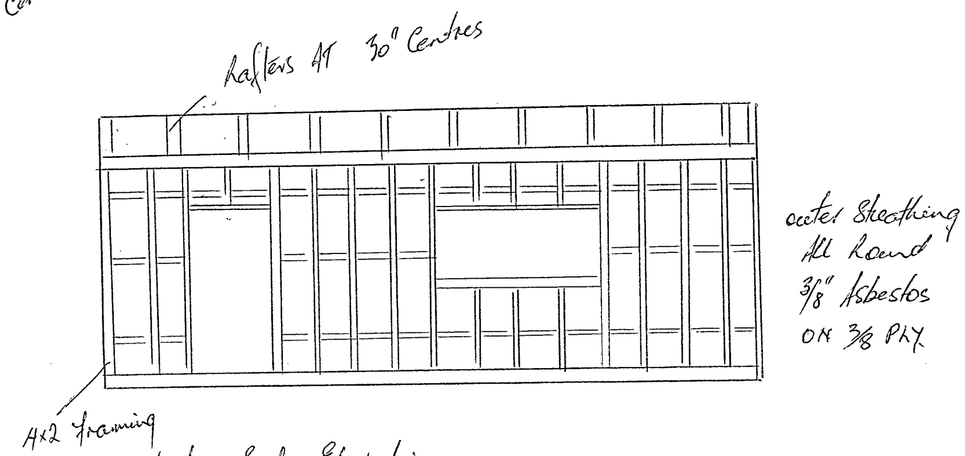
# Proposed New Garage for MR J.C. Parker
## No. 4 Thackeray St Upper Hutt



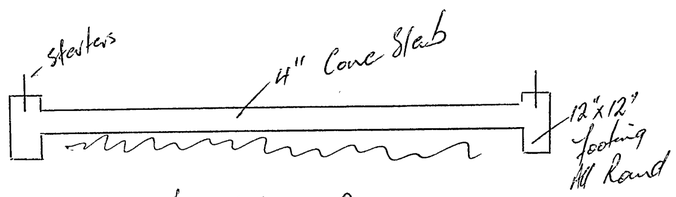

Site Plan for Position of Garage



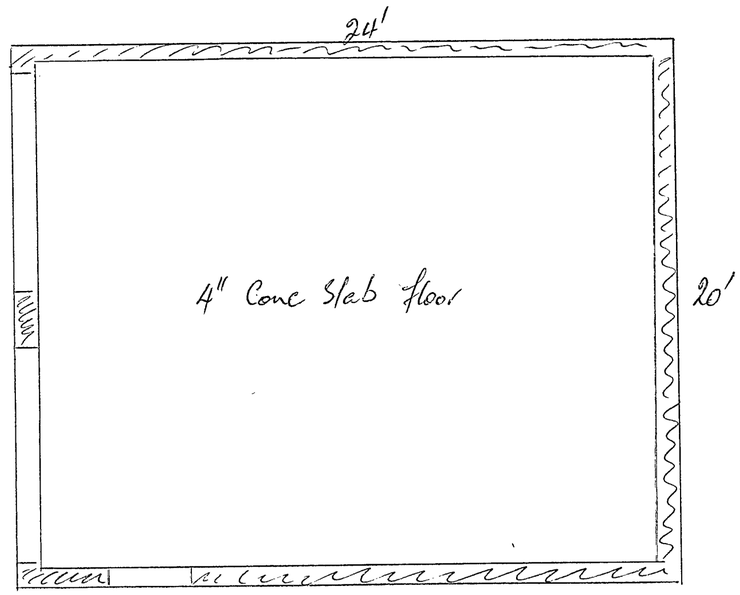

FRONT ELEVATION



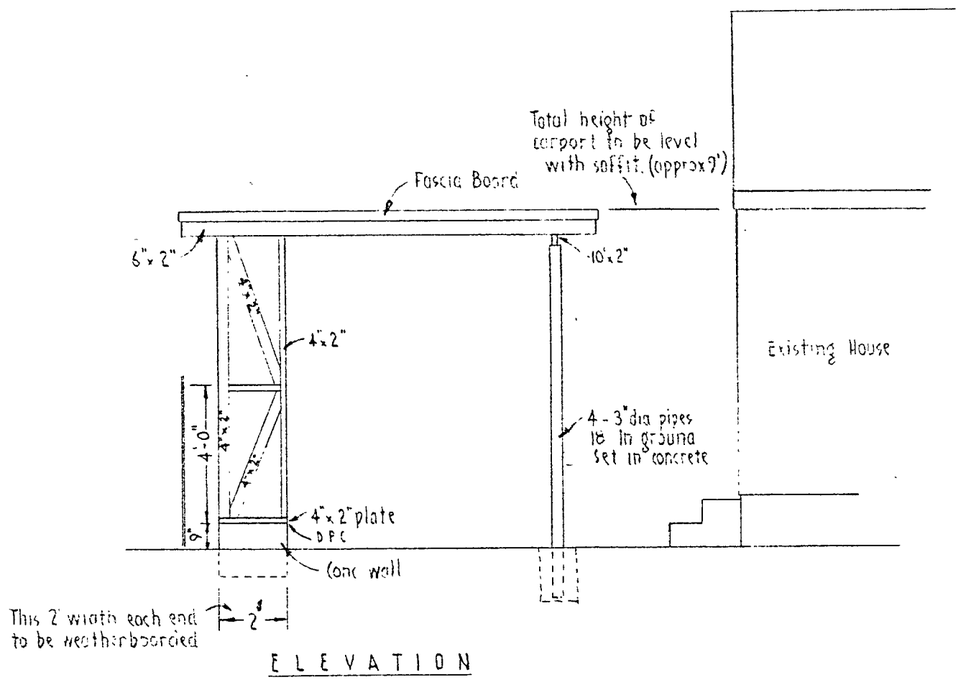

West Side Elevation



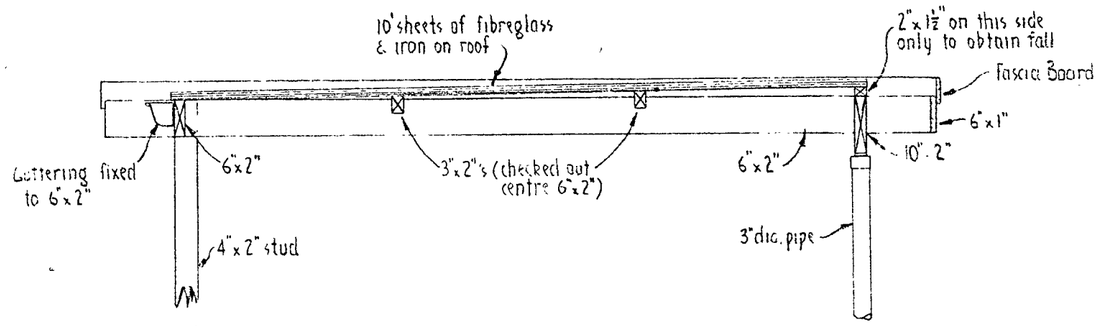

Foundation Plan



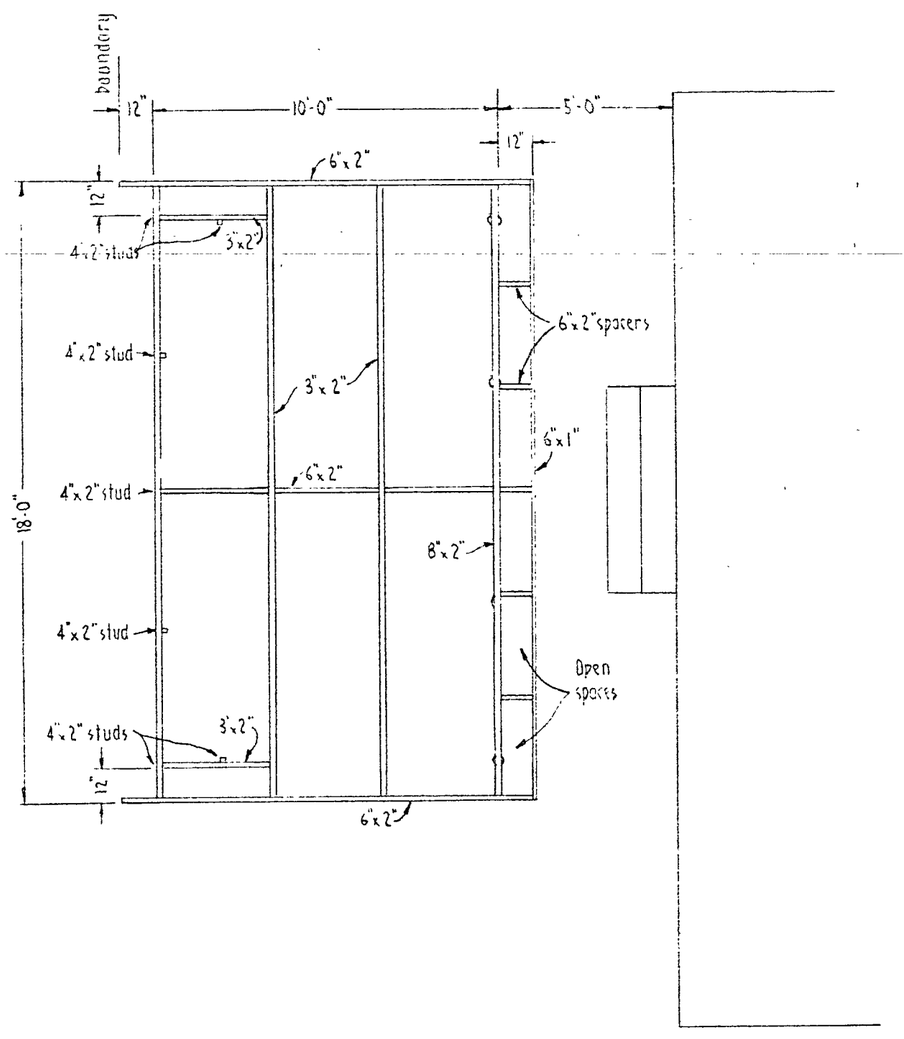

Floor Plan



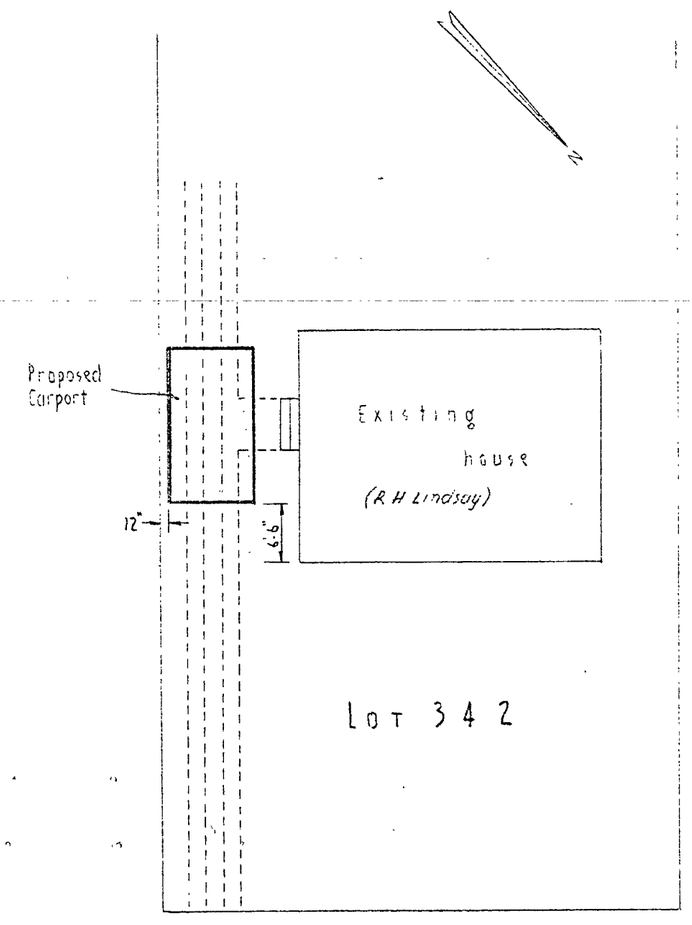

ELEVATION




SECTION THRU ROOF




PLAN

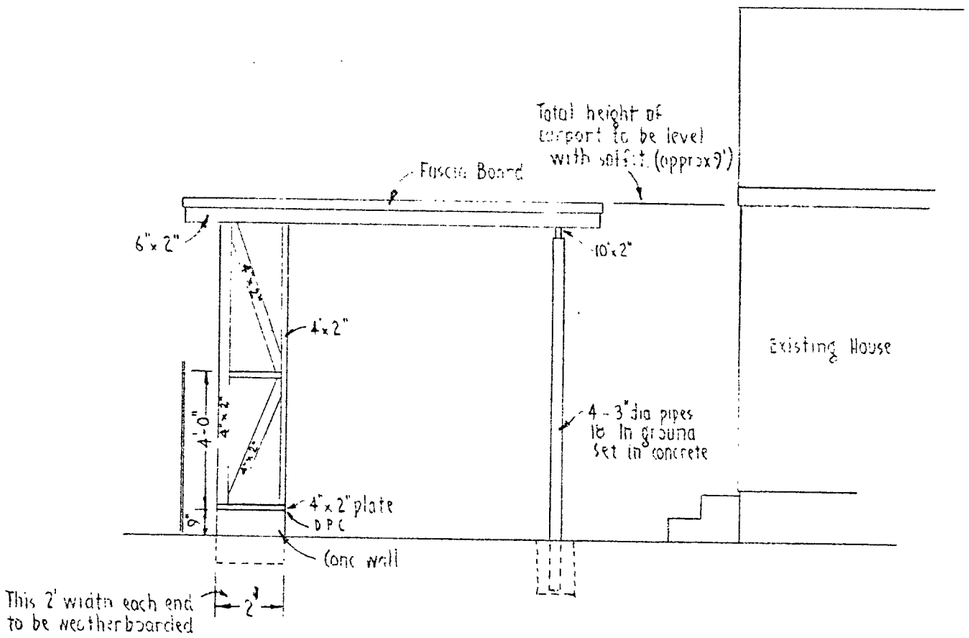



SITE PLAN
16 feet to an inch

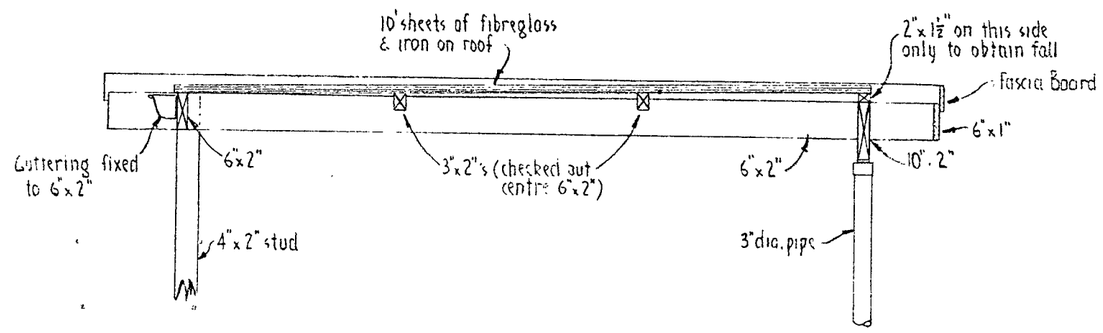
PROPOSED CARPORT FOR THE HUTT VALLEY ELECTRIC POWER & GAS BOARD
AT THE RESIDENCE OF MR R.H. LINDSAY, THACKERAY ST. UPPER HUTT.

SCALE: ¼" & ½" TO ONE FOOT

| THE HUTT VALLEY ELECTRIC POWER & GAS BOARD | | |
|---|---|---|
| DRAWING No. 740/21 | | |
| DRAWN | R.E.B. | 13·8·59 |
| TRACED | " | " |
| CHECKED | RHL | " |
| CHECKED | | |
| APPROVED | | |
| J. D. ELLIS CHIEF ELECT. ENGINEER | | |




ELEVATION

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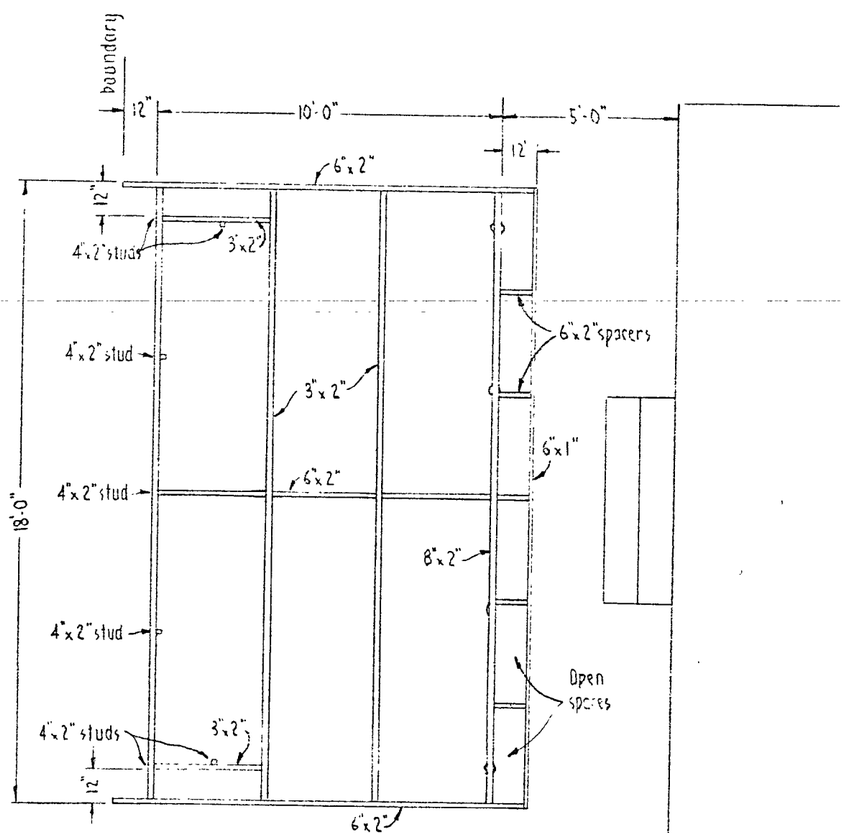
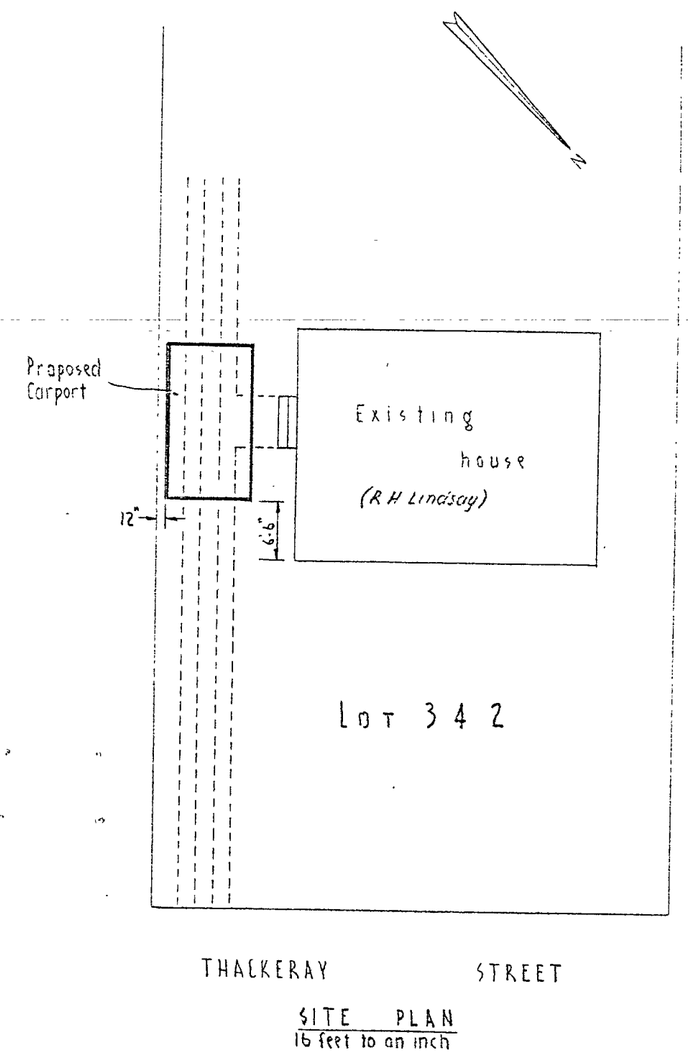



PLAN

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